

**A12 Chelmsford to A120 widening scheme**

**Map book 1: Updated General Arrangements  
(Set 1 of 3)**

# A12 Chelmsford to A120 widening scheme map books

The two map books prepared for this supplementary consultation contain plans of the proposed scheme under the following headings:

- Map book 1: General arrangements (layout plans)
- Map book 2: Land use plans

These plans show the changes we have made since our statutory consultation earlier in 2021 and are published for the purposes of the Supplementary Consultation on the project. The proposals are therefore subject to change due to consultation feedback and further design development.

Please read these plans in conjunction with the supplementary consultation booklet, which provides further information on the consultation and how to respond.

The plans run from junction 19 (Boreham interchange) to junction 25 (Marks Tey interchange). Identically numbered sheets in the different map books show the same area. For example, in map book 1, sheet 1 shows the layout around junction 19, and in map book 2, sheet 1 shows the land use plan around junction 19.

The schedule between page 3 and 7 contains a short description of the Category 3 changes, which are annotated in the General Arrangement Plans.

## Map book 1: Updated General arrangements

The general arrangements show the layout of the proposed scheme, including:

- Permanent works, new roads, earthworks and roadside features such as signage and lighting columns
- Environmental mitigation, landscaping and tree planting
- Provisional order limits (also known as the red line boundary)
- Open space and replacement land

## Map book 2: Updated Land use plans

The land use plans show the areas where we are seeking powers to acquire land and rights permanently. They also show the land we require for a temporary period to construct the proposed scheme. We may need the land permanently for:

- road alignments
- junction improvements
- environmental mitigation
- drainage

## Permanent works

Purchase of land or acquisition of permanent rights will be required for the route of the road, to reconnect local roads and for associated structures like drainage ponds.

## Permanent rights

Land used temporarily for construction and thereafter required for the creation of new permanent rights for example, to maintain the proposed scheme including the highway and associated apparatus, for rights of access or for rights to operate and maintain new statutory undertaker apparatus. It may also be required where existing rights need to be acquired, suspended, changed or extinguished to construct and operate the proposed scheme.

## Temporary works

Temporary use of land is needed for the proposed scheme to be constructed safely. The plans show land that may be required temporarily for the main construction compounds at various locations along the route. We will also require temporary access over land to divert utilities such as gas pipelines, electricity cables and water pipes. Any land that is only required temporarily will be returned to its previous use wherever possible once construction is complete.

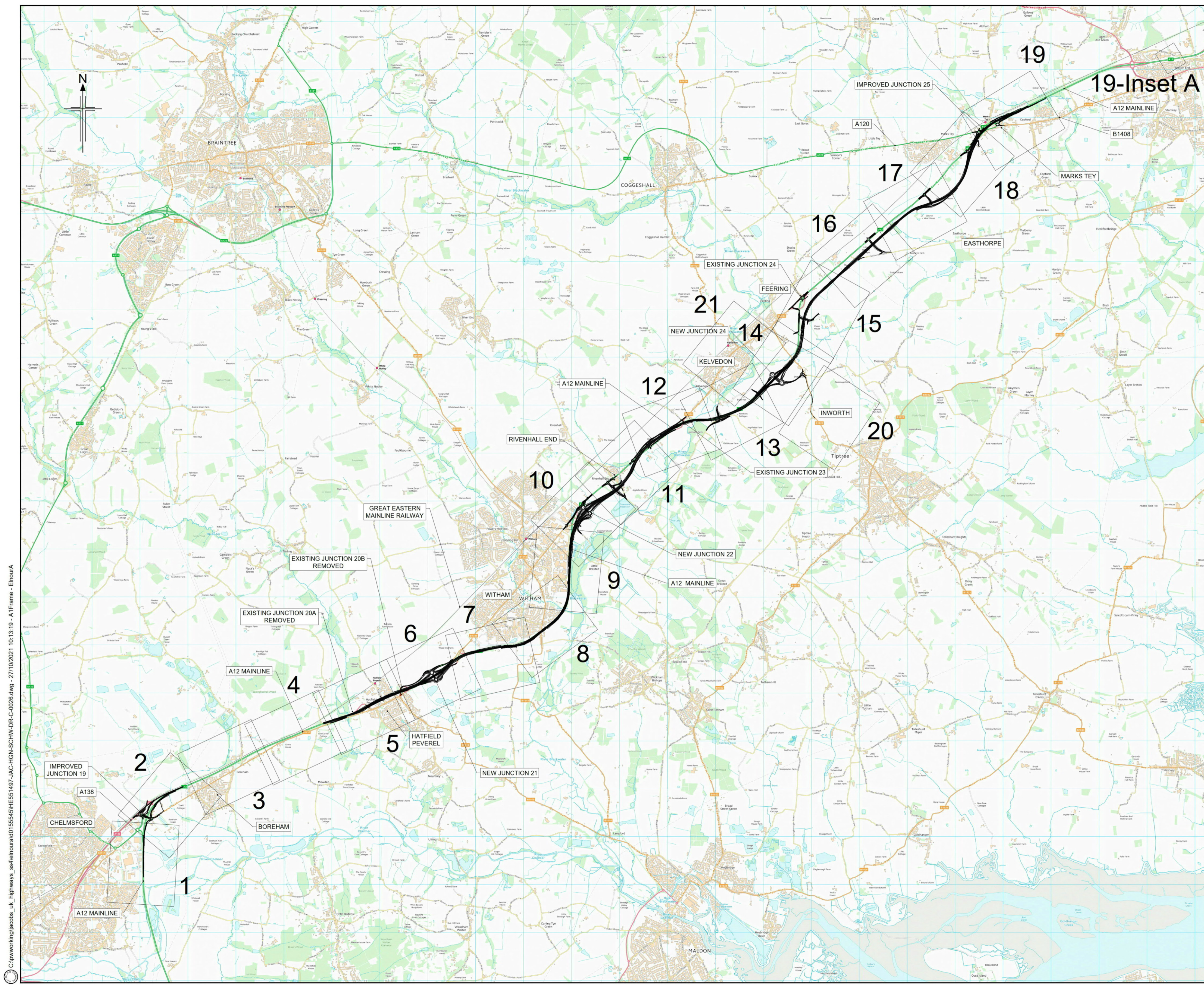
REF	Sheet	Location	Change Description
GA-001	1	South of Junction 19, East of A12	Additional temporary possession of land and permanent acquisition of rights, required for a section of watercourse to accommodate a drainage outfall.
GA-001a	1	South of Junction 19, East of A12	Due to development of the drainage design the attenuation pond previously proposed in this location is no longer required.
GA-002	1	South -East of Junction 9	Refer to consultation brochure for further details.
GA-003	1	South of Junction 19, West of A12	Additional temporary possession of land and permanent acquisition of rights, required to accommodate a gas main diversion.
GA-004	1	South of Junction 19, East of A12	Additional temporary possession of land and permanent acquisition of rights, required to facilitate utilities crossing.
GA-005	2	Junction 19	Additional permanent acquisition of land, required to accommodate drainage and pond access proposal.
GA-006	2	East of Junction 19	Additional temporary possession of land and permanent acquisition of rights, required for utility diversions and to re-provide utility connections.
GA-007	2	B1137, East of Junction 19	Additional temporary possession of land and permanent acquisition of rights, required to facilitate utilities diversions.
GA-008	2	East of Junction 19, by Premier Inn Boreham	Additional temporary possession of land and permanent acquisition of rights, required for utility diversion.
GA-009	2	Paynes Lane	Reduction in the extent of land required, with the remainder of land to be used to accommodate a new proposed drainage underground storage unit and a new Anglian Water Main.
GA-010	2	Paynes Lane	Additional permanent acquisition of land, required to accommodate drainage ditch, and additional temporary possession of land and permanent acquisition of rights, required for new Anglian Water Main.
GA-010a	2	Paynes Lane	Lighting added to walker, cyclist and horse rider route.
GA-011	2	North of Junction 19, North of railway	Additional permanent acquisition of land, required to allow for alternative orientation of footbridge ramps should final agreements with stakeholders require this.
GA-011a	2	North of Junction 19, North of railway	Additional ramps on northern end of proposed bridge.
GA-012	2	North of Junction 19, North of railway	Reduction in land required following refinement of proposal for provision of access during construction.
GA-012a	2	North of Junction 19, North of railway	Additional temporary possession of land, required to provide access during construction whilst seeking to avoiding existing trees.
GA-013	2	North of Junction 19, North of railway	Additional temporary possession of land, required for improved haul road to provide construction access to proposed footbridge.
GA-014	2	North/ North-East of Junction 19	Reduction in the amount of land required due to the removal of the railway from Provisional Order of Limits.
GA-015	2	North of Junction 19, North of railway	Reduction in the extent of land required due to updated flood mitigation proposals associated with Boreham Brook.
GA-016	2	South-East of Junction 19	Reduction in the extent of land required as a result of refinement of the requirements for access and construction space.
GA-017	2, 3 & 4	Main Road, Boreham/Hatfield Peverel	Refer to consultation brochure for further details.
GA-018	5	South of A12, West of Hatfield Peverel	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-019	5	South of A12, West of Hatfield Peverel	Due to design development there has been a reduction in land required.
GA-020	5	North of A12, West of Hatfield Peverel	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-021	5	North of A12, West of Hatfield Peverel	Due to optimisation of environmental mitigation there is a reduction in land required.
GA-021a	5 & 6	Hatfield Peverel, adjacent to A12	Lighting added to Bury Lane Bridge, Station Road Bridge and Wellington Road Bridge.
GA-021b	5	Hatfield Peverel, adjacent to A12	The addition of an embankment with planting.
GA-022	5	Bury Lane, Hatfield Peverel	Additional temporary possession of land, required to provide vehicular access to properties throughout construction works at Bury Lane.
GA-023	5	Bury Lane, Hatfield Peverel	Refer to consultation brochure for further details.
GA-024	5	Properties on Bury Lane, Hatfield Peverel	Additional temporary possession of land, required to provide safe access to properties on Meadow Bank.
GA-024a	5	Meadow Bank, Bury Lane, Hatfield Peverel	Additional temporary possession of land, required to provide working space for Bury Lane bridge construction.
GA-025	5	Swan Close, Hatfield Peverel	Additional temporary possession of land, required for temporary utility diversions and access to temporary pedestrian crossing of A12.
GA-025a	5	East of Swan Close, Hatfield Peverel	Additional temporary possession of land, required for temporary access to property during construction of Station Road Bridge

REF	Sheet	Location	Change Description
GA-025b	5	Station Road, Hatfield Peverel	Additional temporary possession of land, required for temporary restrictions during construction and utility diversions.
GA-026	5	Station Road, Hatfield Peverel	Refer to consultation brochure for further details.
GA-027	5	Station Road, Hatfield Peverel	Refer to consultation brochure for further details.
GA-028	5	Adjacent to Station Road, Hatfield Peverel	Additional temporary possession of land, to allow emergency vehicles to access Station Road properties, and for construction vehicles to access Station Road north abutment only when Station Road is closed for construction.
GA-029	6	Hatfield Peverel, South of A12	Due to design development and refinement of construction methods there is a reduction in land required.
GA-030	6	South of proposed Junction 21	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-031	6	South of proposed Junction 21	Following increased certainty of junction, drainage and environmental design, there is a reduction in land required.
GA-032	6	South of proposed Junction 21	Refer to consultation brochure for further details.
GA- Junction 21 southern link road removal	6	Junction 21	Refer to consultation brochure for further details.
GA-033	7, 8 & 9	Witham	Refer to consultation brochure for further details.
GA-034	7	Hawkes Road	Refer to consultation brochure for further details.
GA-035	7	West of Howbridge Hall Road	Refer to consultation brochure for further details.
GA-036	7	South of A12, West of Maldon Road	Additional temporary possession of land and permanent acquisition of rights, required to accommodate a change in alignment of the proposed utilities corridor.
GA-037	7	South of A12, West of Maldon Road	Due to refinements to the drainage design there has been a reduction in land required.
GA-033a	8	Maldon Road, Witham	Additional temporary possession of land and permanent acquisition of rights, required to allow drilling utility diversion under the river brain as the B1018 bridge is not suitable for carrying the proposed utility diversion.
GA-038	8	Gershwin Boulevard, Witham	Additional temporary possession of land, required to allow proposed WCH route to avoid existing trees.
GA-039	8	Pantile Close	Refer to consultation brochure for further details.
GA-040	8	Oliver's Bridge, Witham	Additional permanent acquisition of land, required to allow sufficient construction space at Oliver's Bridge.
GA-041	8	Market Lane, Witham	In order to minimise impact to properties, there has been a reduction in land required.
GA-041a	8	East of Witham, East of A12	Additional permanent acquisition of land, required for overhead diversion works to tie into existing infrastructure.
GA-042	8	Oliver's Bridge, Witham	Additional permanent acquisition of land, required for construction working space and access at Oliver's Bridge.
GA-043	8	Constance Close/Carraways. Adjacent to B1018	Refer to consultation brochure for further details.
GA-044	8	West of Brain Bridge, South of River Brain	Additional temporary possession of land and permanent acquisition of rights, required to provide sufficient space for bailey bridge and pipeline diversion works.
GA-044a	8	East of Witham, West of A12	Additional temporary possession of land and permanent acquisition of rights, required to provide adequate space for retaining wall construction, bridge extension and utility diversion.
GA-045	8	South of Blackwater Lane, adjacent to the A12	Refer to consultation brochure for further details.
GA-046	8	East of Witham, East of A12	Due to refinement of proposed environmental mitigation, there are additional ecology ponds.
GA-047	8	Blackwater Lane	Refer to consultation brochure for further details.
GA- Market lane noise barrier	8	Market Lane, Witham	Refer to consultation brochure for further details.
GA- Cadent gas main	8	East of Witham	Refer to consultation brochure for further details.
GA-048	9	East of Witham, East of A12	Additional temporary possession of land and permanent acquisition of rights, required to allow for a drainage outfall option.
GA-049	9	East of Witham, East of A12	Following a refinement of ecological mitigation proposals, there has been a reduction in land required.
GA-050	9	South of Junction 22	Additional permanent acquisition of land, required to accommodate drainage ditch.
GA-051	10	Freebournes Road, Witham	Additional temporary possession of land, required to accommodate utility diversion.
GA-052	10	Colchester Road, Witham	Additional temporary possession of land, required to provide full width of proposed walker, cyclist and horse rider route.

REF	Sheet	Location	Change Description
GA-053	10	Colman's Bridge, Witham	Additional temporary possession of land, required to provide tie in to existing kerb line.
GA-054	10	South of Junction 22	Following refinement and increased certainty of environmental mitigation, utility diversion and drainage proposals, there has been a reduction in the land required.
GA-055	10	South of Junction 22	Following refinement of junction design and construction methodology, there has been a reduction in land required.
GA-056	10	Eastways	Refer to consultation brochure for further details.
GA-057	10	North of Junction 22	Additional temporary possession of land and permanent acquisition of rights, required to allow for overhead diversion works to tie into existing infrastructure.
GA-058	10	Eastways, North Witham	Following refinement of design for tie in to Eastways local road, there has been a reduction in the land required.
GA-059	10	South of Junction 22	Additional permanent acquisition of land, to allow for the high pressure gas main diversion.
GA-060	10	Junction 22	Additional temporary possession of land and permanent acquisition of rights, required to accommodate utility diversion.
GA-061	11	West of Braxted Road, South of Rivenhall End	Due to design development, there has been a reduction in land required to avoid the impact on existing pond.
GA-062	11	Braxted Road, Rivenhall End	The proposed attenuation pond has been relocated north from east of Braxted Road to west of Braxted road resulting in a reduction in land required.
GA-062a	11	Henry Dixon Road, Rivenhall End	Additional permanent acquisition of land, required for the pond which is being relocated north from east of Braxted Road to west of Braxted Road.
GA-063	11	East of Braxted Road, Rivenhall End	Additional permanent acquisition of land, required to accommodate drainage ditch required for proposed local access.
GA-063a	11	South East of Rivenhall End	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-064	11	South-West of Rivenhall End	Refer to consultation brochure for further details.
GA-065	11	Rivenhall End	Additional temporary possession of land, required for beam deliveries due to the length of the delivery trailers.
GA-066	11	East of Rivenhall End, South of A12	Due to design refinement there is a new proposed watercourse diversion layout.
GA-067	11	North East of Rivenhall End	Additional permanent acquisition of land, required for additional environmental mitigation area adjacent to proposed borrow pit.
GA-068	12	Essex County Fire & Rescue Service	Additional permanent acquisition of land, required to accommodate proposed ditch tie in with existing drainage network.
GA-069	12	Essex County Fire & Rescue Service	Additional temporary possession of land, required each side of access road to accommodate proposed carriageway tie in and footway link.
GA-070	12	East of Rivenhall End, North of A12	Reduction in land required to minimise impact on communication tower.
GA-071	12	East of Rivenhall End, North of A12	Additional temporary possession of land, required to accommodate change in haul route.
GA-072	12	South of Kelvedon, South of A12	Following relocation of attenuation pond outfall, there is a reduction in land required.
GA-072a	12	South of Kelvedon, South of A12	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-073	12	River Blackwater	Refer to consultation brochure for further details.
GA-074	12	Crabb's Lane, South-West Kelvedon	Additional permanent acquisition of land, required for tie in works to Crabb's Lane.
GA-075	12	North of Ashman bridge, South of Kelvedon	Additional temporary possession of land, required to allow access to, and preparatory works in, the watercourse for bridge widening works.
GA-076	12, 13, 15 & 21	Kelvedon	Refer to consultation brochure for further details.
GA-077	13	West of Maldon Road, South of Kelvedon	Additional temporary possession of land and permanent acquisition of rights, required along watercourse to allow optimisation of drainage outfall position.
GA-077a	13	West of Maldon Road, South of Kelvedon	Due to a refinement to the proposed drainage design, there has been a reduction in land required.
GA-078	13	West of Maldon Road, South of Kelvedon	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-079	13	East of Maldon Road, South of Kelvedon	Due to a refinement of proposed environmental mitigation, there has been a reduction in the land required.
GA-080	13	Between Ewell Hall Chase and A12, South of Kelvedon	Additional permanent acquisition of rights, required for a section of watercourse to accommodate a drainage outfall.
GA-081	13	Between Ewell Hall Chase and A12, South of Kelvedon	Due to a refinement of proposed environmental mitigation, there has been a reduction in the land required.

REF	Sheet	Location	Change Description
GA-082	13	Between Ewell Hall Chase and A12, South of Kelvedon	Additional temporary possession of land and permanent acquisition of rights, required for overhead diversion works to tie into existing infrastructure.
GA-083	13	Highfields Lane, South of Kelvedon, South of A12	Additional temporary possession of land and permanent acquisition of rights, required for overhead diversion works to tie into existing infrastructure.
GA-084	13	South of Kelvedon, North of A12	Following refinement of environmental and drainage proposals along Ewell Hall Chase, there has been a reduction in land required.
GA-085	14	South of Kelvedon, North of A12	Due to further design refinements there is an increased certainty in design and a reduction in the land required.
GA-086	14	Proposed Junction 24, West of Inworth Road	Refer to consultation brochure for further details.
GA-087	14	West of Inworth Road, North of A12	Due to design refinement there is an increased certainty in drainage and environmental mitigation proposals which has resulted in a reduction in the land required.
GA-088	14	West of Inworth Road, North of A12	Due to design refinement there is an increased certainty in drainage and environmental mitigation proposals which has resulted in a reduction in the land required.
GA-089	14	West of Inworth Road, North of A12	Additional permanent acquisition of land, required for a section of watercourse to accommodate a drainage outfall.
GA-090	14	Adjacent to Park Bridge, West of Inworth Road, North of the A12	Refer to consultation brochure for further details.
GA-091	14	East of Inworth Road, North of A12	Additional temporary possession of land, required to allow access to, and preparatory works in, the watercourse for bridge widening works.
GA-092	14	East of Inworth Road, South of A12	Additional temporary possession of land and permanent acquisition of rights, required to accommodate tie in works on Inworth Road, south of proposed roundabout. In addition there is also a reduction in land required following development of the proposal to tie into Kelvedon Road
GA-093	14	East of Inworth Road	Refer to consultation brochure for further details.
GA-094	14	East of B1023	Refer to consultation brochure for further details.
GA-095	14	East of Inworth Road, West of A12	Additional temporary possession of land, required for access to Threshelfords bridge from Inworth Road during construction.
GA-096	15	East of Inworth Road, West of A12	Due to refinement of the drainage design, the proposed pond has moved onto the existing A12 which has resulted in a reduction in the land required.
GA-097	15	East of Inworth Road, West of A12	Updated vertical alignment of Western arm of Prested Hall-Threshelfords Joint Access Bridge. New attenuation pond location, updated proposed cut off ditch location.
GA-098	15	East of Inworth Road, West of A12	Following increased certainty around drainage and walker, cyclist and horse rider proposals, there has been a reduction in land required.
GA-099	15	East of Inworth Road, South of A12	Following increased certainty of drainage and environmental mitigation proposals, there has been a reduction in land required.
GA-100	15	Prested Hall	Additional permanent acquisition of land, required to accommodate proposed ditch tie in with existing drainage network.
GA-101	15	East of Kelvedon, North of A12	Realigned public right of way.
GA-101a	15	East of Kelvedon, North of A12	New floodplain compensation zone with access road to attenuation pond accordingly altered.
GA-102	15	London Road, East of Kelvedon	Following increased certainty of environmental and drainage proposals, there has been a reduction in land required.
GA-102a	15	London Road, East of Kelvedon	Additional permanent acquisition of land, required to accommodate proposed drainage ditch.
GA-103	15	North of Existing Junction 24	Following increased certainty of proposed connection to existing A12, there has been a reduction in land required.
GA-104	15	North East of Prested Hall	Following optimisation of the environmental mitigation proposed, there has been a reduction in land required.
GA-105	15	East of Kelvedon, South of A12	Due to refinement of proposed environmental mitigation, there are additional ecology ponds.
GA-106	15	East of Kelvedon, South of A12	Additional permanent acquisition of land, required to accommodate proposed culvert tie in works with existing drainage network.
GA-107	15	East of Kelvedon, South of A12	Additional permanent acquisition of land, required to allow optimised drainage outfall location.
GA-108	16	West of Easthorpe Road, South of A12	Additional temporary possession of land and permanent acquisition of rights, required for overhead diversion works to tie into existing infrastructure.
GA-109	16	West of Easthorpe Road, South of A12	Additional temporary possession of land and permanent acquisition of rights, required for a section of watercourse to accommodate drainage outfall.
GA-110	16	West of Easthorpe Road, North of A12	Additional permanent acquisition of land, required to amend boundary to follow land registry plot.
GA-111	16	South of Easthorpe Road, South of A12	Following design refinement there is an increased certainty around the proposal for Easthorpe Road which has resulted in a reduction in land required.

REF	Sheet	Location	Change Description
GA-112	16	South of Easthorpe Road, South of A12	Following design refinement there is an increased certainty around the proposal for tie in works to Easthorpe Road which has resulted in a reduction in land required.
GA-113	16	Easthorpe Road, West of Easthorpe	Refer to consultation brochure for further details.
GA-114	16	North of Easthorpe Road, South of A12	Following design refinement there is an increased certainty around the proposal for drainage which has resulted in a reduction in land required.
GA-115	16	West of Domsey Chase, North of A12	Additional temporary possession of land and permanent acquisition of rights, required for overhead diversion works to tie into existing infrastructure.
GA- Easthorpe Road closure	16	Easthorpe Road	Refer to consultation brochure for further details.
GA-116	17	North of Easthorpe Road, South of A12	Additional permanent acquisition of land, required to allow optimised drainage outfall location.
GA-117	17	North of Easthorpe Road, South of A12	Due to refinement of proposed environmental mitigation an area of riparian planting has been removed which resulted in a reduction in land required.
GA-118	17	East of Wishing Well Overbridge, South of A12	Additional permanent acquisition of land, required for updated environmental mitigation proposal.
GA-119	17	South of Marks Tey	Refer to consultation brochure for further details.
GA-120	18	Wishing Well Farm, South of A12	Additional temporary possession of land and permanent acquisition of rights, required for overhead diversion works to tie into existing infrastructure and to allow temporary access to properties during the construction.
GA-121	18	South of Marks Tey, South of A12	Following increased certainty of proposed borrow pit locations there has been a reduction in land required.
GA-122	18	South of Junction 25, North of A12	Following design refinement there has been a reduction in land required, however part of the area is still required to accommodate drilling of utility across the carriageway.
GA-123	18	South of Junction 25, South of A12	Planting area reduced following environmental mitigation design development.
GA-124	19	Junction 25	Due to further design refinement there is an altered bridge layout.
GA-125	19	North of Junction 25	Additional temporary possession of land and permanent acquisition of rights, required to provide access for construction and maintenance to proposed drainage ditch.
GA-126	19	North of Junction 25	Additional temporary possession of land and permanent acquisition of rights, required to provide access for construction and maintenance to proposed drainage ditch.
GA-129	19	East of Junction 26	Additional temporary possession of land, required for layby required for recovery vehicles during construction.
GA- Inworth Road	20	Inworth Road	Refer to consultation brochure for further details.
GA-127	21	West of Inworth Road, North of A12	Due to design refinement there is an increased certainty in drainage and environmental mitigation proposals which has resulted in a reduction in the land required.
GA-128	21	West of Inworth Road, North of A12	Additional permanent acquisition of land, required to allow optimised drainage outfall location.



Notes:  
 1. This key plan is to be used with the General Arrangement Drawings and Land Use Plans.

P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	27/04/21	DESIGN FIX 2	SH	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	SH	CA	RM	DT
P04	23/09/21	FOR STATUTORY CONSULTATION	SH	CA	RM	RC
P05	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P06	27/10/21	DESIGN FIX 3	AE	CA	RM	RC
Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Apprv'd

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Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: **KEY PLAN**

Drawing status: **S2 - SUITABLE FOR INFORMATION**

State Code	Preliminary	
Project Stage	PCF3	
Scale	NTS	DO NOT SCALE
Jacobs No.	B36601D1	Rev P06
Client no.	HE551497	

Drawing number	Originator	Volume
HE551497 - JAC - HGN - SCHW	JAC	-HGN-
	Location	Role
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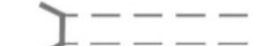















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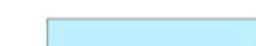







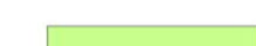

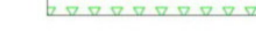


## HIGHWAYS

-  New or realigned road
-  New/realigned private means of access
-  New/realigned maintenance access
-  Existing public right of way / walking, cycling and horse-riding user route
-  Existing public right of way / walking, cycling and horse-riding user route - stopped up
-  New/realigned public right of way / walking, cycling and horse-riding user route
-  Controlled crossing location
-  Uncontrolled crossing location
-  Technology gantry
-  Gantry mounted direction sign
-  Direction sign
-  Regulatory sign
-  Warning sign
-  Informatory sign
-  Bollard with sign
-  Bollard with plain face
-  Lighting column








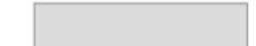

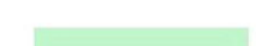

## DRAINAGE

-  Existing culvert (to be retained)
-  Proposed culvert - minor watercourse
-  Existing culvert (to be extended)
-  Existing culvert (to be abandoned)
-  Proposed watercourse diversion (main river)
-  Water flow direction
-  Proposed cut-off ditch
-  Existing ditch / minor watercourse (to be retained)
-  Existing ditch / minor watercourse (to be realigned)
-  Existing ditch / minor watercourse (to be abandoned)
-  Attenuation pond (with outfall connection)
-  Underground storage units
-  Flood mitigation areas
-  Flood plain compensation (minor watercourse)
-  Flood extents (100 year)
-  Flood bunds (minor watercourse)

## ENVIRONMENT

- ### EXISTING
-  Open water
  -  Retained trees, hedges and shrubs
  -  Ancient woodland
  -  Ancient, noble and veteran trees
  -  Conservation areas
  -  Local nature reserve
  -  Listed buildings
  -  Registered parks and gardens
  -  Scheduled monument
  -  Trees protected by Tree Preservation Order (area or individual tree)
- ### PROPOSED
-  Open water
  -  Woodland planting of trees and shrubs
  -  Wet woodland
  -  Tall screen planting to elevate flight path of bats & barn owls
  -  Individual trees
  -  Hedge
  -  Hedge with intermittent trees
  -  Grassland
  -  Intermittent trees and shrubs
  -  Ecology pond (indicative symbol)
  -  Protected species crossing
  -  Ecology mitigation area / Ecology protection measures
  -  Noise barrier location / Acoustic barrier
  -  Ecological fencing

## ENGINEERING & CONSTRUCTION

-  Cutting
-  Embankment
-  Proposed mitigation earthworks
-  Carriageway
-  Footway / Hardstanding / Island
-  Verge
-  Proposed borrow pit
-  New or modified bridge deck
-  Existing bridge deck
-  Proposed retaining wall
-  Existing retaining wall

## BOUNDARIES

-  Provisional Order Limits

**NOTES**

THIS GENERAL ARRANGEMENT LEGEND SHOULD BE READ IN CONJUNCTION WITH:

1. THE LOCATION KEY PLAN.
2. THE GENERAL ARRANGEMENT DRAWINGS.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Apprv'd
P01	22/04/21	DESIGN FIX 2	SH	CA	RM	RC
P02	21/05/21	FOR STATUTORY CONSULTATION	SH	CA	RM	DT
P03	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P04	27/10/21	DESIGN FIX 4	AE	CA	RM	RC

Contractor:  Designer:   
 Jacobs, 2nd floor, Cottons Centre, London, SE1 2QG  
 Tel: +44(0)113 242 6771 Fax: +44(0)113 389 1389  
 www.jacobs.com

Client: 

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

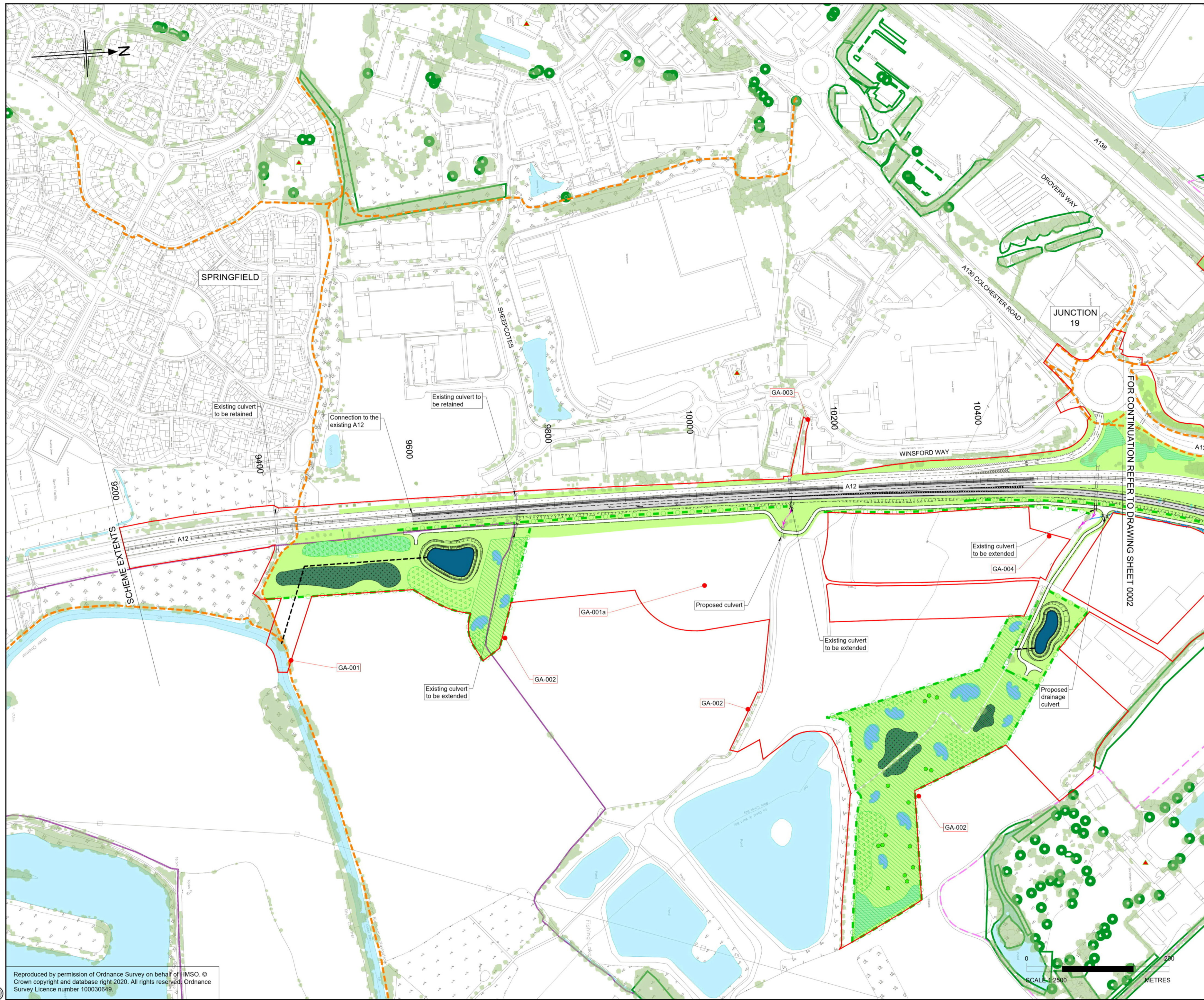
Drawing title: GENERAL ARRANGEMENT LEGEND

Drawing status: S2 - SUITABLE FOR INFORMATION

State Code	Preliminary
Project Stage	PCF3
Scale	DO NOT SCALE
Jacobs No.	B36601D1
Client no.	HE551497
Rev	P04

Drawing number: HE551497 - JAC - HGN - SCHW - DR - C - 0066  
 PIN: JAC, Originator: JAC, Volume: HGN, Location: SCHW, Type: DR, Role: C, Number: 0066

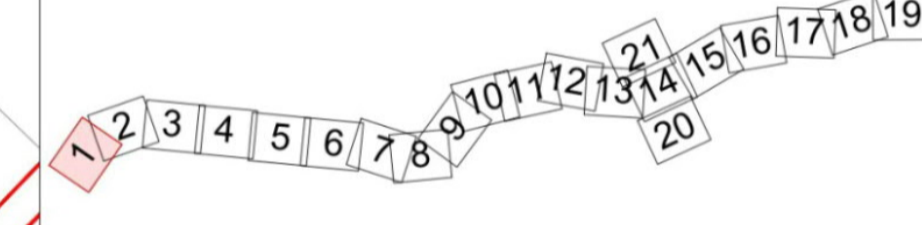
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  5. For Sheet Layout Plan refer to HE551497-JAC-HGN-SCHW-DR-C-0026.
  6. For Key refer to HE551497-JAC-HGN-SCHW-DR-C-0066.
  7. Where the scheme is showing the removal of access to properties, a suitable and convenient replacement will be provided.
  8. Part of junction 19 is being improved for the Beaulieu Park development. These changes are being made by the developer, and the construction here is due to be completed by early 2023. These are not part of our proposals. The improvements required for Beaulieu Park are due to be completed before we would begin to construct our proposed scheme. We have therefore taken these improvements into account when designing our proposed scheme.

KEY PLAN  
SCALE N.T.S.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Appr'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	SH	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

Contractor: **COSTAIN** Designer: **Jacobs**  
 2nd Floor Cottons Centre, Cottons Lane  
 London SE1 2QG. Tel: +44 (0)203 9802000  
 www.jacobs.com

Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: GENERAL ARRANGEMENT  
 CH. 9500 TO 10600

SHEET 1 OF 21

Drawing status: S2 - SUITABLE FOR INFORMATION

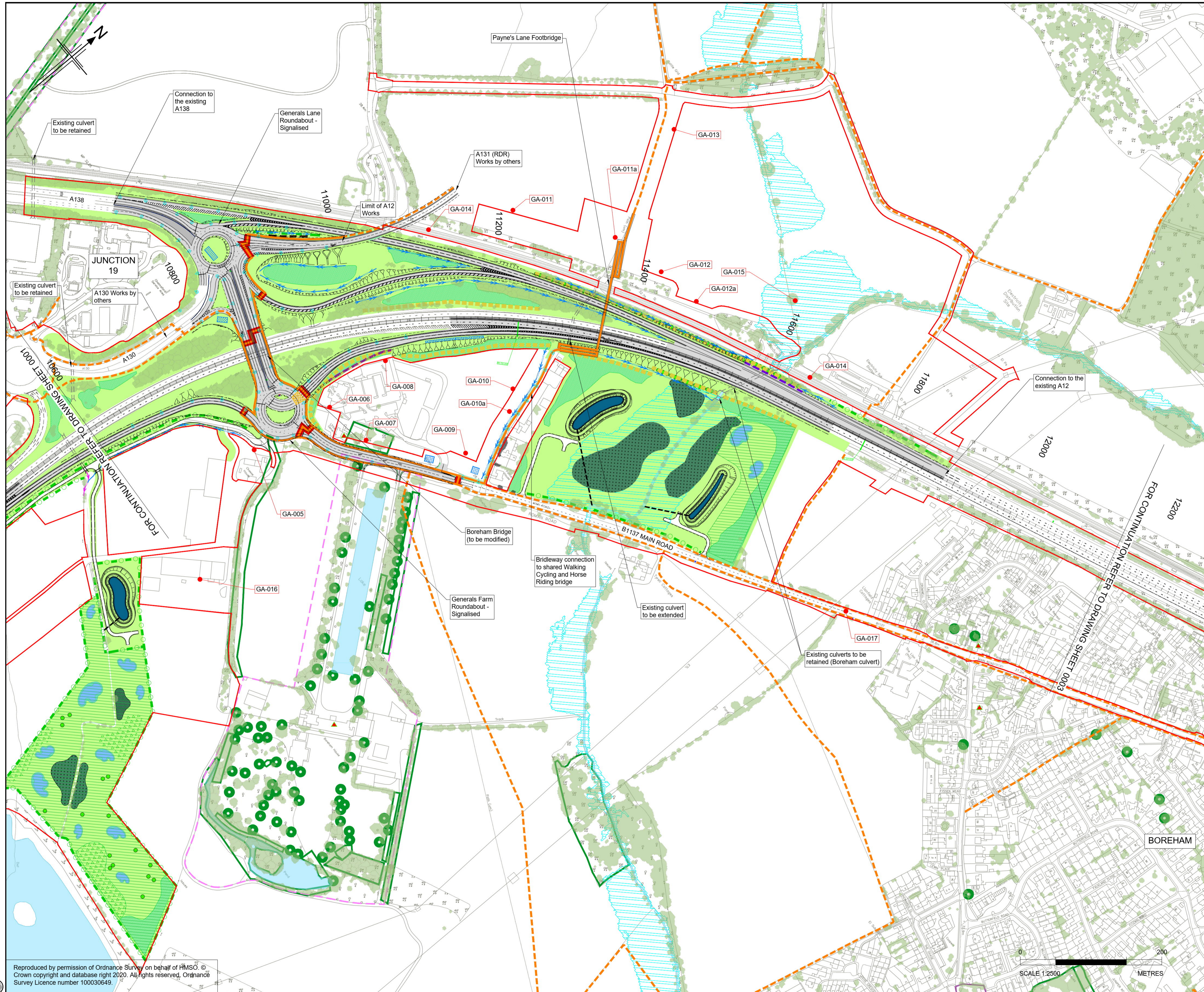
State Code	Preliminary	DO NOT SCALE
Project Stage	PCF3	
Scale	1:2500	Rev
Jacobs No.	B36601D1	P05
Client no.	HE551497	

Drawing number: HE551497 - JAC - HGN - SCHW - DR - C - 0001  
 Originator: JAC, Volume: HGN, Location: SCHW, Role: DR, Number: C-0001

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  6. For Key refer to HE551497-JAC-HGN-SCHW-DR-C-0066.
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Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Appr'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	SH	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

Contractor: **COSTAIN** Designer: **Jacobs**  
 2nd Floor Cottons Centre, Cottons Lane  
 London SE1 2QG. Tel: +44 (0)203 9802000  
 www.jacobs.com

Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: GENERAL ARRANGEMENT  
 CH. 10600 TO 12100

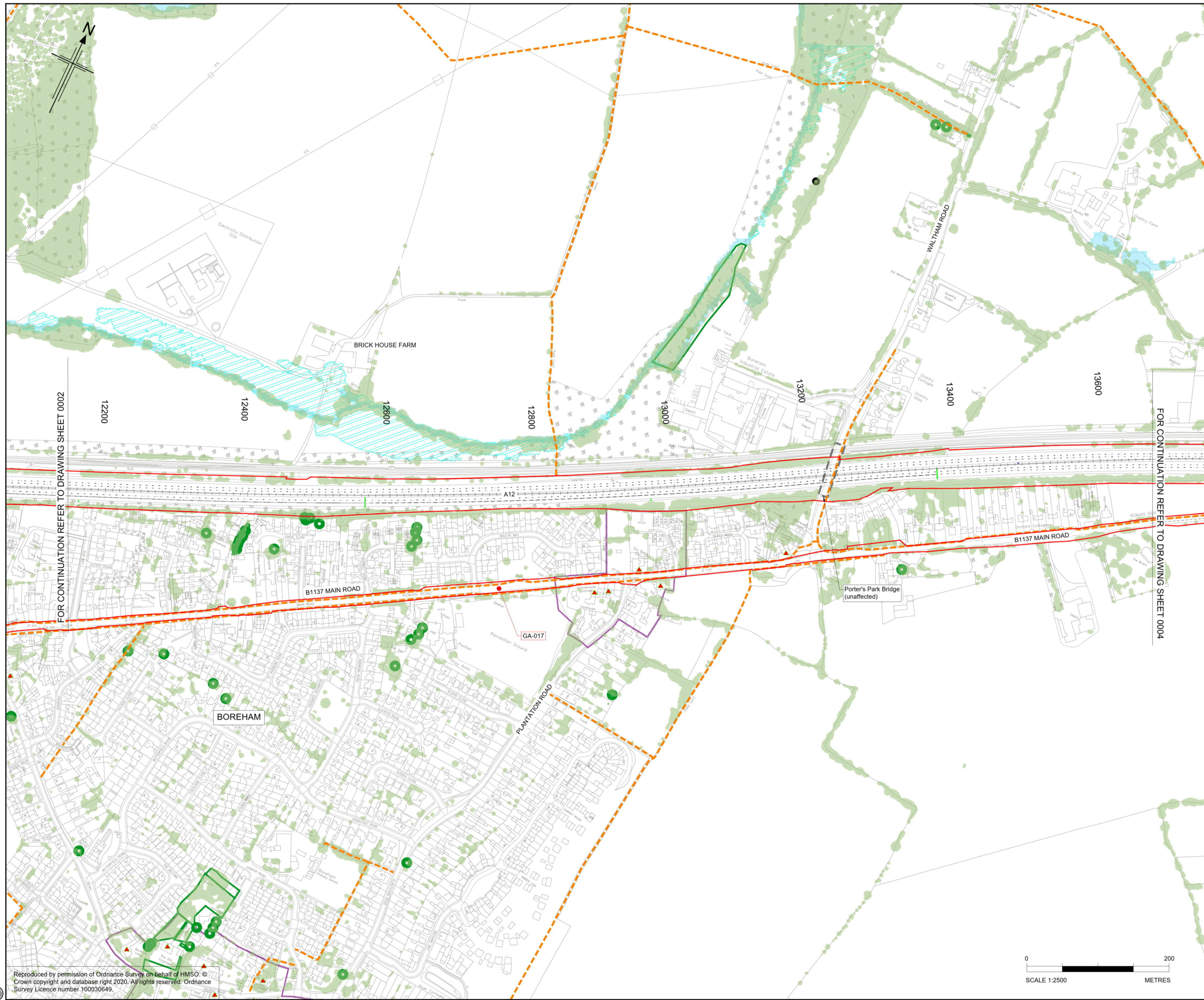
SHEET 2 OF 21  
 Drawing status: S2 - SUITABLE FOR INFORMATION

State Code	Preliminary	DO NOT SCALE
Project Stage	PCF3	Rev
Scale	1:2500	P05
Jacobs No.	B36601D1	
Client no.	HE551497	

Drawing number: HE551497 - JAC - HGN - SCHW - DR - C - 0002  
 PIN: JAC Location: SCHW Originator: JAC Type: HGN Volume: -DR- C - 0002  
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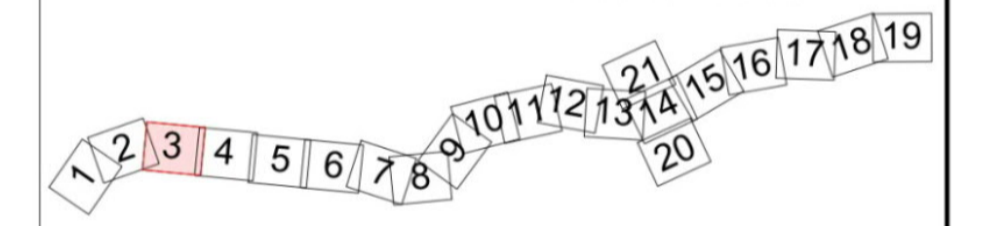
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  5. For Sheet Layout Plan refer to HE551497-JAC-HGN-SCHW-DR-C-0026.
  6. For Key refer to HE551497-JAC-HGN-SCHW-DR-C-0066.
  7. Where the scheme is showing the removal of access to properties, a suitable and convenient replacement will be provided.

FOR CONTINUATION REFER TO DRAWING SHEET 0002

FOR CONTINUATION REFER TO DRAWING SHEET 0004

**KEY PLAN**  
SCALE N.T.S.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Appr'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	SH	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

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 London SE1 2QG. Tel: +44 (0)203 9802000  
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Client: **national highways**

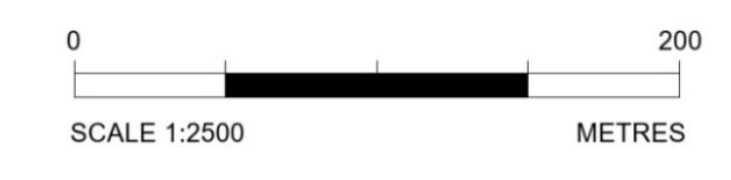
Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: GENERAL ARRANGEMENT  
 CH. 12100 TO 13600

SHEET 3 OF 21  
 Drawing status: S2 - SUITABLE FOR INFORMATION

State Code	Preliminary	DO NOT SCALE
Project Stage	PCF3	Rev
Scale	1:2500	P05
Jacobs No.	B36601D1	
Client no.	HE551497	

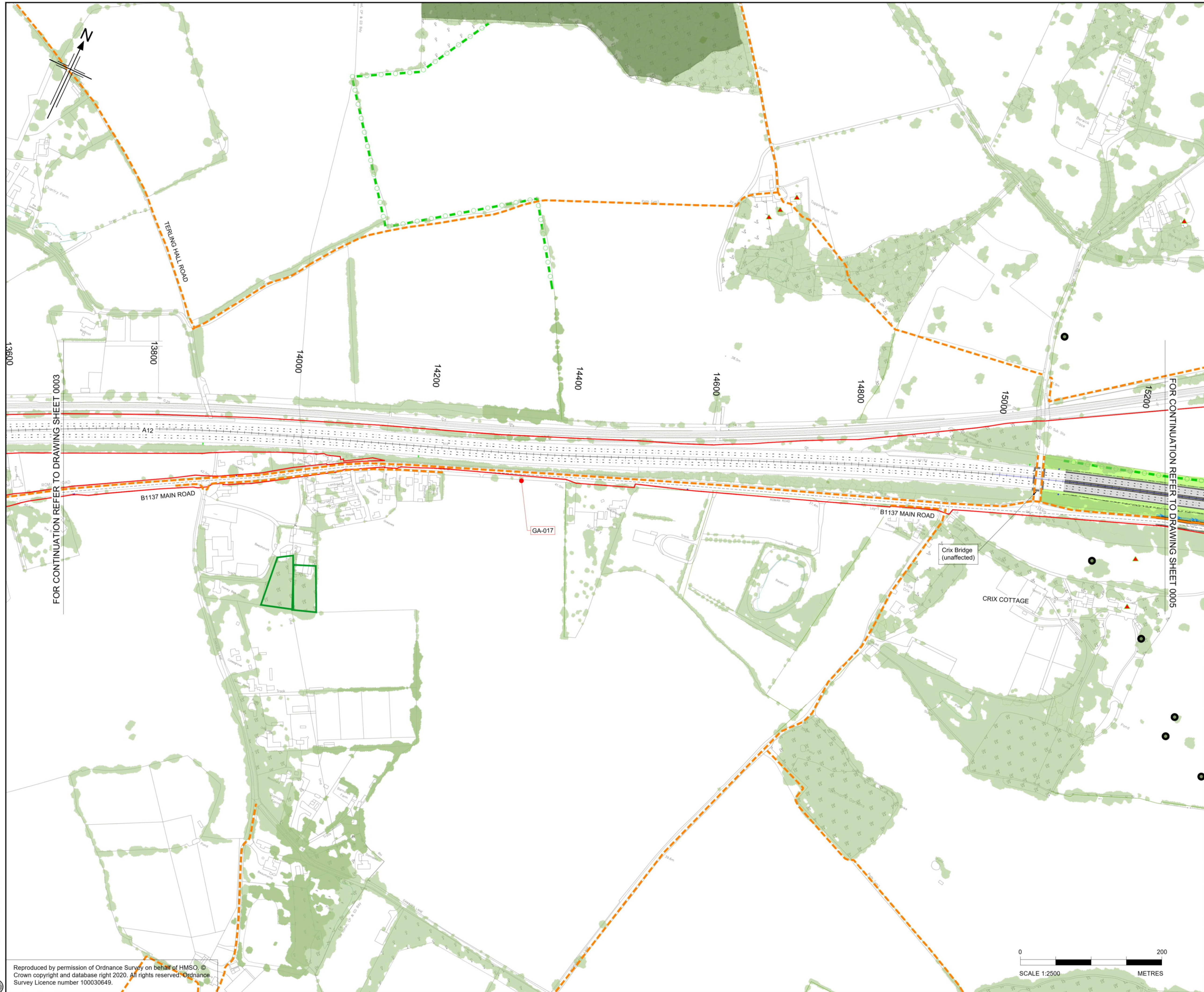
Drawing number	Originator	Volume
HE551497 - JAC - HGN - SCHW	JAC	-HGN-DR- C -0003
Location	Type	Role
		Number



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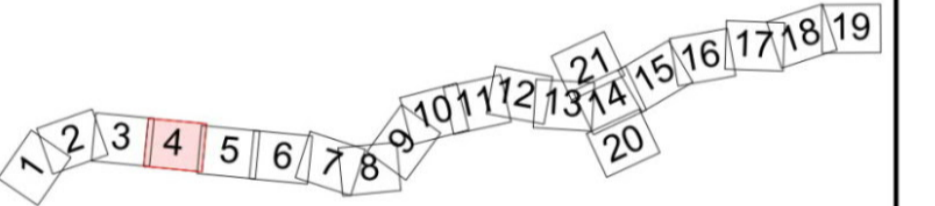
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  4. Only written dimension shall be used.
  5. For Sheet Layout Plan refer to HE551497-JAC-HGN-SCHW-DR-C-0026.
  6. For Key refer to HE551497-JAC-HGN-SCHW-DR-C-0066.
  7. Where the scheme is showing the removal of access to properties, a suitable and convenient replacement will be provided.

KEY PLAN  
SCALE N.T.S.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Appr'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	AS	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

Contractor: **COSTAIN** Designer: **Jacobs**  
 2nd Floor Cottons Centre, Cottons Lane  
 London SE1 2QG. Tel: +44 (0)203 9802000  
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Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

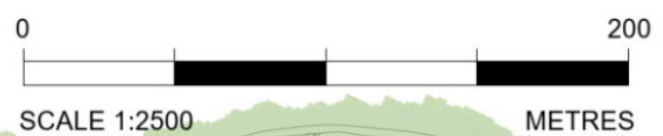
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 CH. 13600 TO 15400

SHEET 4 OF 21

Drawing status: S2 - SUITABLE FOR INFORMATION

State Code	Preliminary	
Project Stage	PCF3	
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Jacobs No.	B36601D1	Rev P05
Client no.	HE551497	

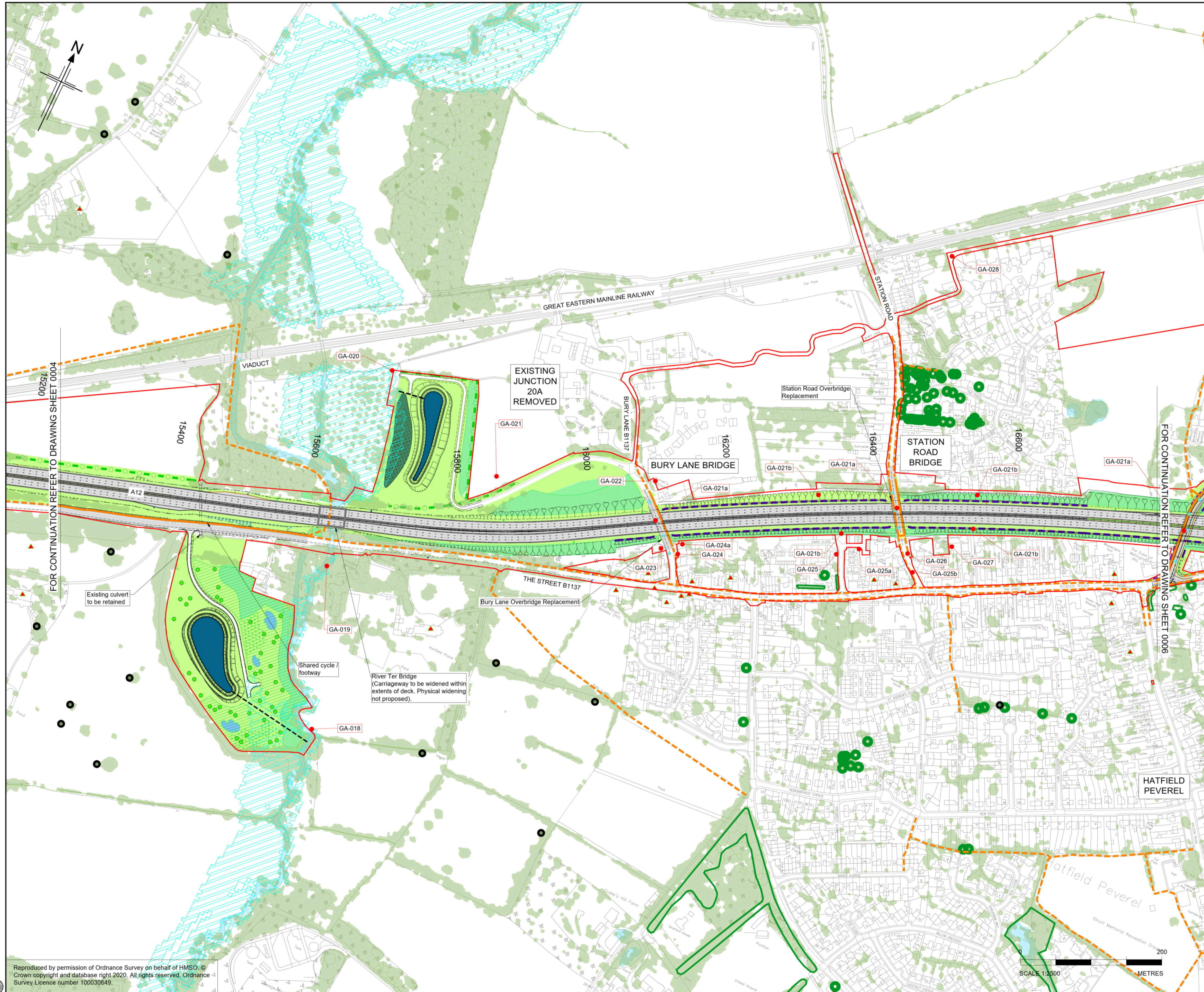
Drawing number: HE551497 - JAC - HGN - SCHW - DR - C - 0004  
 PIN: JAC, Location: SCHW, Originator: JAC, Volume: -HGN-, Type: -DR-, Role: -C-, Number: 0004



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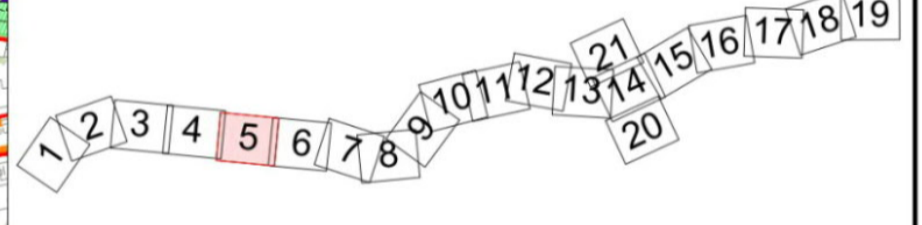
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  5. For Sheet Layout Plan refer to HE551497-JAC-HGN-SCHW-DR-C-0026.
  6. For Key refer to HE551497-JAC-HGN-SCHW-DR-C-0066.
  7. Where the scheme is showing the removal of access to properties, a suitable and convenient replacement will be provided.
  8. Due to the projected growth in the area, the junction with The Street and Maldon Road may struggle to work adequately in the future. While this is expected to happen with or without the proposed scheme going ahead, our new junction 21 location does change how the traffic moves around the junction. By reducing traffic on The Street, more traffic will now turn right to go to our new junction 21. The design at the junction with Maldon Road and The Street remains as presented at our statutory consultation but will continue to be subject to further engagement with key stakeholders as we remain committed to doing our part to find a joined-up solution.

KEY PLAN  
SCALE N.T.S.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Apprv'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	DG	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

Contractor: **COSTAIN** Designer: **Jacobs**  
 2nd Floor Cottons Centre, Cottons Lane  
 London SE1 2QG. Tel: +44 (0)203 9802000  
 www.jacobs.com

Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: GENERAL ARRANGEMENT  
 CH. 15400 TO 16800

SHEET 5 OF 21  
 Drawing status: S2 - SUITABLE FOR INFORMATION

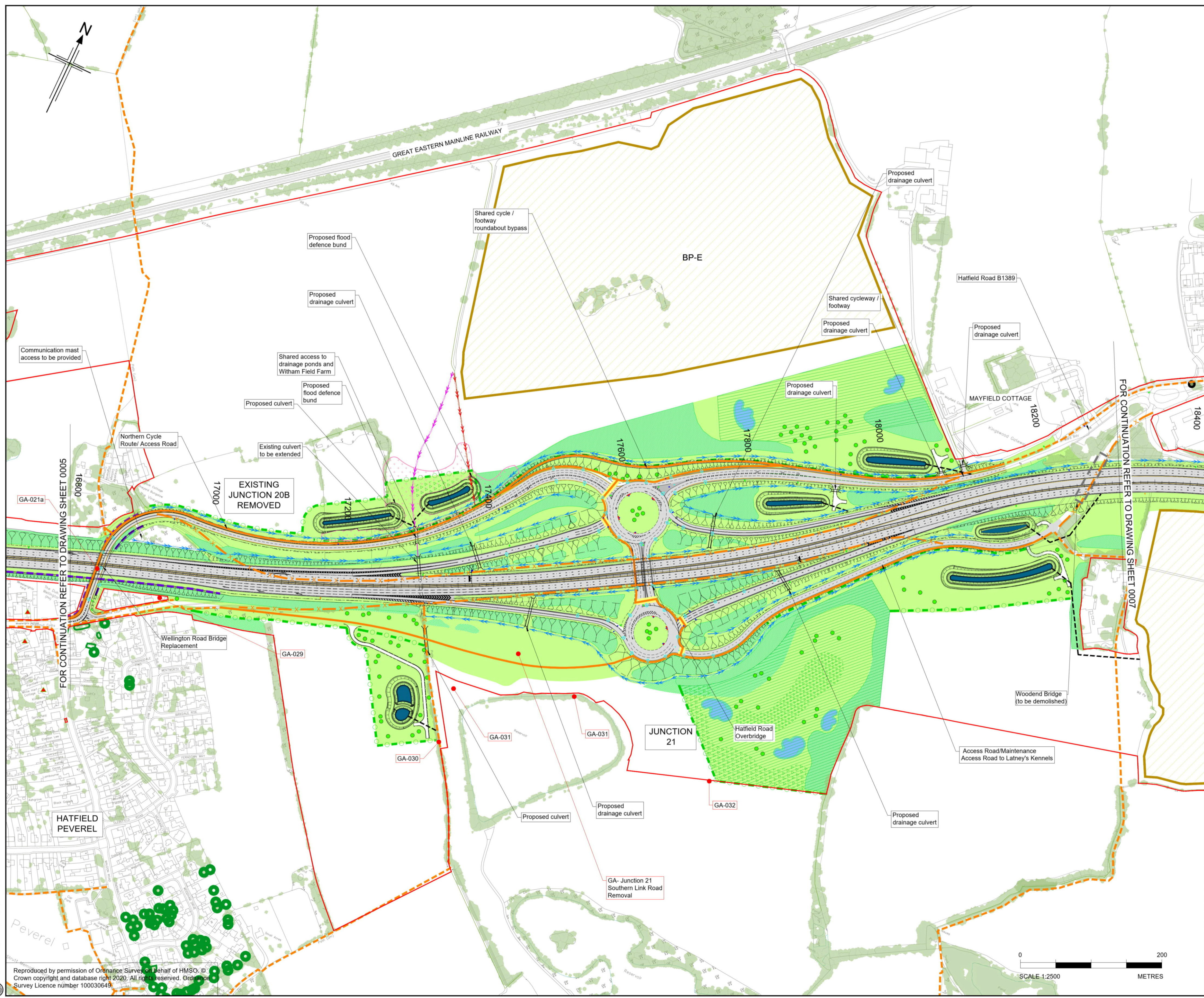
State Code	Preliminary	DO NOT SCALE
Project Stage	PCF3	
Scale	1:2500	Rev
Jacobs No.	B36601D1	P05
Client no.	HE551497	

Drawing number: HE551497 - JAC - HGN - SCHW - DR - C - 0005  
 Originator: JAC - HGN - SCHW  
 Volume: -DR- C - 0005

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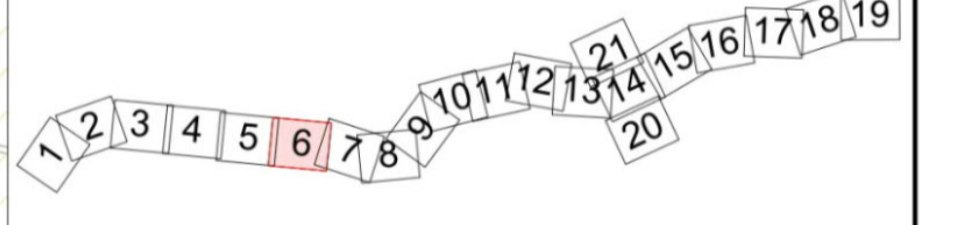
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 - THE SUPPLEMENTARY CONSULTATION (NOVEMBER 2021) BROCHURE

- Notes
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  9. In response to the statutory consultation, we have done a further review of the design at this location. Feedback from the statutory consultation suggested removing the previously proposed southern link road, and opening Wellington Bridge in both directions for all traffic to and from Hatfield Peverel and Maldon Road. This traffic would then use an enhanced northern link road (previously only serving The Vineyards) to access junction 21. Concerns were also raised about the environmental impact of the southern link on properties on the east section of The Street and it was felt by some who responded to the statutory consultation that removing the southern link road would address this.

KEY PLAN  
SCALE N.T.S.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Apprv'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	AS	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

Contractor: **COSTAIN** Designer: **Jacobs**  
 2nd Floor Cottons Centre, Cottons Lane  
 London SE1 2QG. Tel: +44 (0)203 9802000  
 www.jacobs.com

Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: **GENERAL ARRANGEMENT  
 CH. 16800 TO 18300**

**SHEET 6 OF 21**

Drawing status: **S2 - SUITABLE FOR INFORMATION**

State Code	Preliminary
Project Stage	PCF3
Scale	1:2500
Jacobs No.	B36601D1
Client no.	HE551497

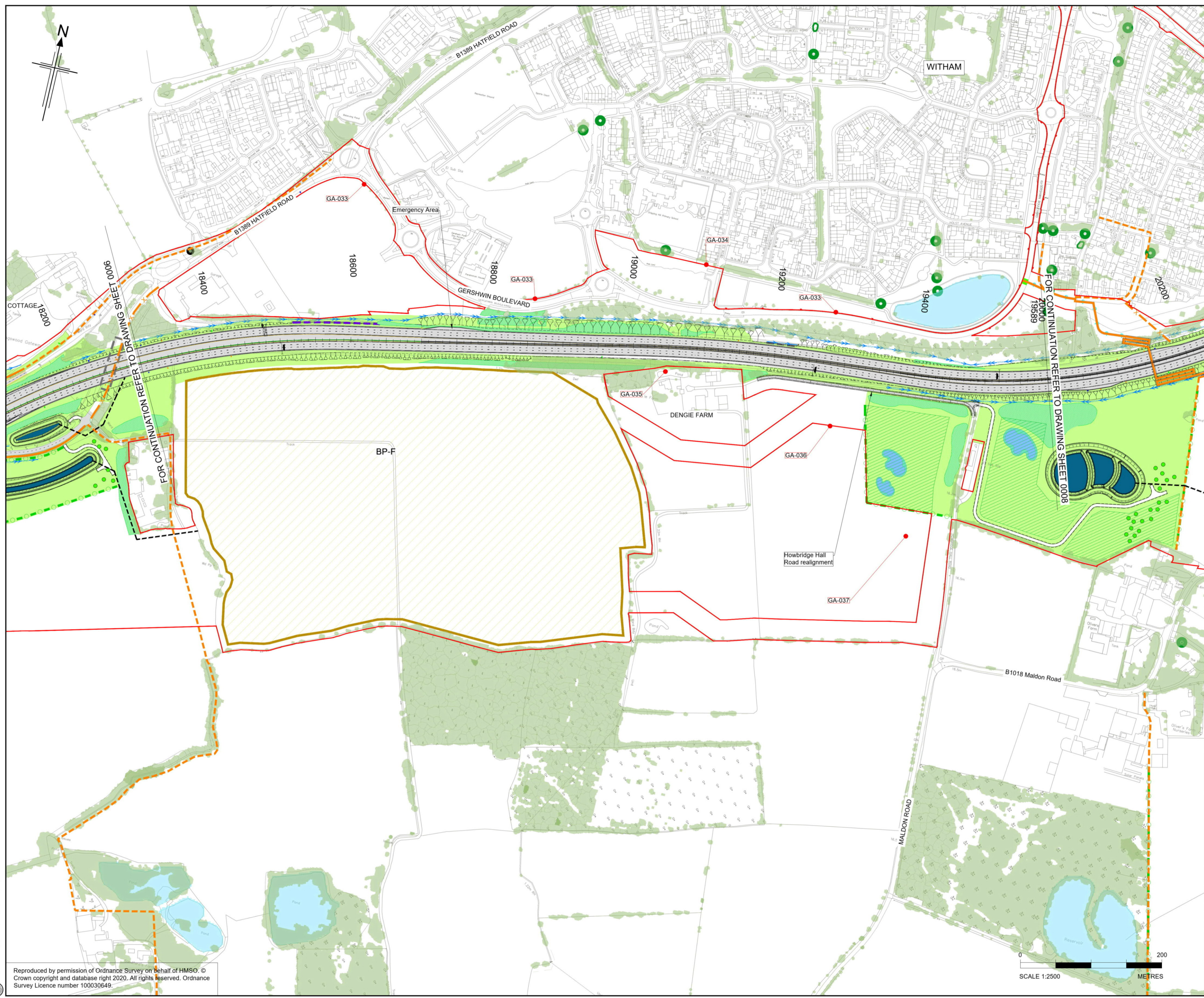
Drawing number: **HE551497 - JAC - HGN - SCHW - DR - C - 0006**

Originator: **JAC** Volume: **-HGN-**  
 Location: **SCHW** Type: **-DR-** Role: **C** Number: **0006**



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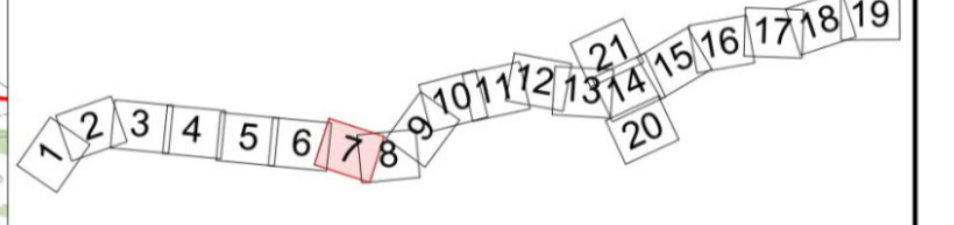
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  3. The base mapping is based on Ordnance Survey (O/S) Data.
  4. Only written dimension shall be used.
  5. For Sheet Layout Plan refer to HE551497-JAC-HGN-SCHW-DR-C-0026.
  6. For Key refer to HE551497-JAC-HGN-SCHW-DR-C-0066.
  7. Where the scheme is showing the removal of access to properties, a suitable and convenient replacement will be provided.

KEY PLAN  
SCALE N.T.S.



Rev	Rev. Date	Purpose of revision	Drawn	Checked	Rev'd	Appr'd
P01	10/02/21	DESIGN FIX 1	JUG	CA	RM	RC
P02	22/04/21	DESIGN FIX 2	DG	CA	RM	RC
P03	21/05/21	FOR STATUTORY CONSULTATION	AE	CA	RM	DT
P04	13/10/21	DESIGN FIX 3	AE	CA	RM	RC
P05	26/10/21	DESIGN FIX 4	AE	CA	RM	RC

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 www.jacobs.com

Client: **national highways**

Project: REGIONAL DELIVERY PARTNERSHIP  
 A12 CHELMSFORD TO A120 WIDENING SCHEME

Drawing title: GENERAL ARRANGEMENT  
 CH. 18300 TO 19600/20000

SHEET 7 OF 21  
 Drawing status: S2 - SUITABLE FOR INFORMATION

State Code	Preliminary	DO NOT SCALE
Project Stage	PCF3	
Scale	1:2500	Rev
Jacobs No.	B36601D1	P05
Client no.	HE551497	

Drawing number: HE551497 - JAC - HGN - SCHW - DR - C - 0007  
 Originator: JAC - HGN - SCHW  
 Volume: -DR- C - 0007

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SCALE 1:2500 METRES



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